

**GENERAL NOTES**

Subject property boundaries plotted from maps supplied by the owner. Allowing for numbers and ownership data from the Forsyth County Tax Office current to 03-2001.  
 Data on N.C. 150 was plotted from sheets 110, N.C. D.O.T. Project Map No. R-2104.  
 All buildings shall be lower than 40' in height.  
 All buildings shall be of a uniform design and appearance.  
 Center is plotted from Planning Board Topographical Maps.  
 All Roads and Parking lots shall be privately funded and maintained except for Entrance Requirements by the N.C.D.O.T.  
 All walls, retaining, structural facilities shall be screened in accordance with the Landscape Ordinance.  
 Existing vegetation in required buffer areas to remain.  
 All Drives and Parking Lots Shall be Asphalt on C.A.B.C.

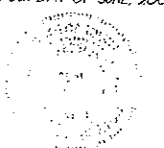
**NORTH CAROLINA FORSYTH COUNTY**

I certify that this map was designed and drawn by me, that the subject boundary was plotted from a certified map supplied by the owner, which was made by Kent Franklin, P.L.S., that all other data is from sources indicated in the General Notes shown hereon.

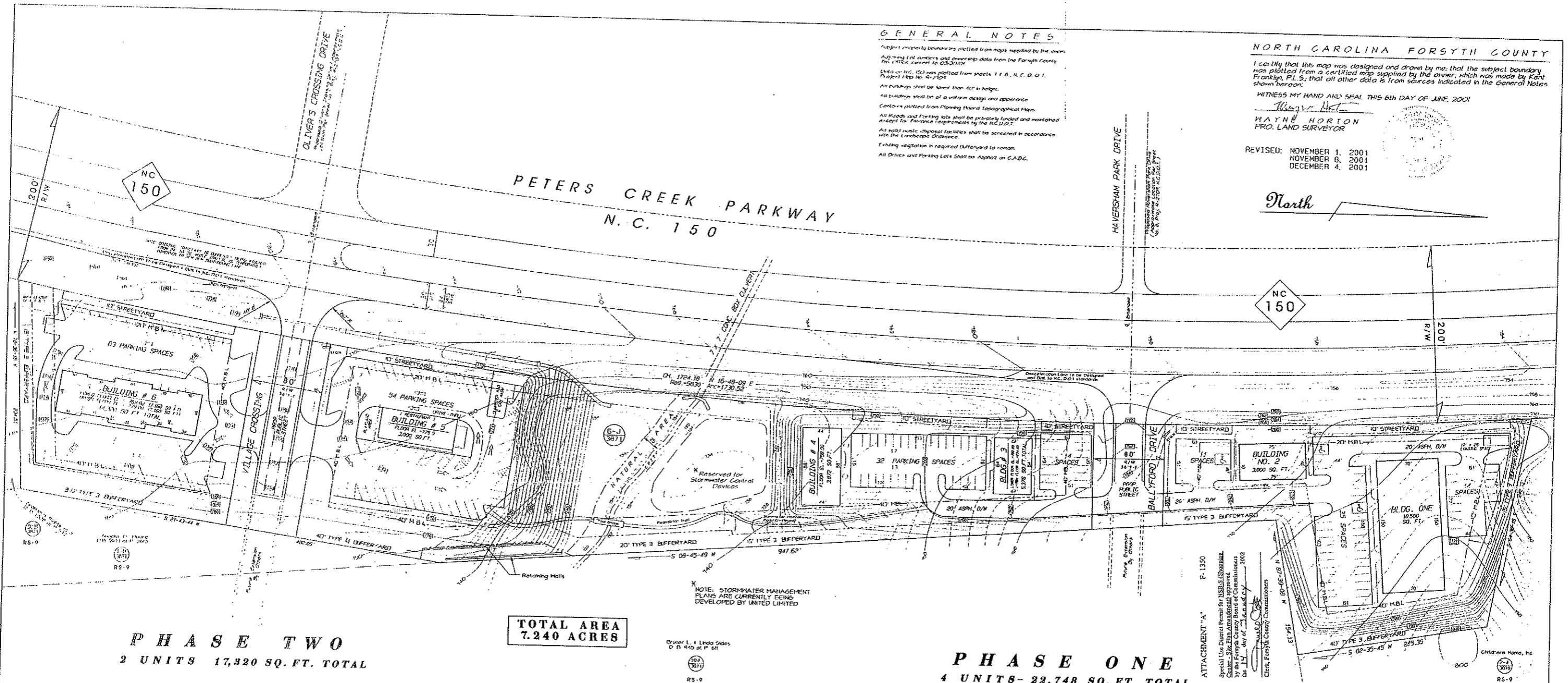
WITNESS MY HAND AND SEAL THIS 6th DAY OF JUNE, 2001

Wayne Horton  
 WAYNE HORTON  
 PRO. LAND SURVEYOR

REVISED: NOVEMBER 1, 2001  
 NOVEMBER 6, 2001  
 DECEMBER 4, 2001



North

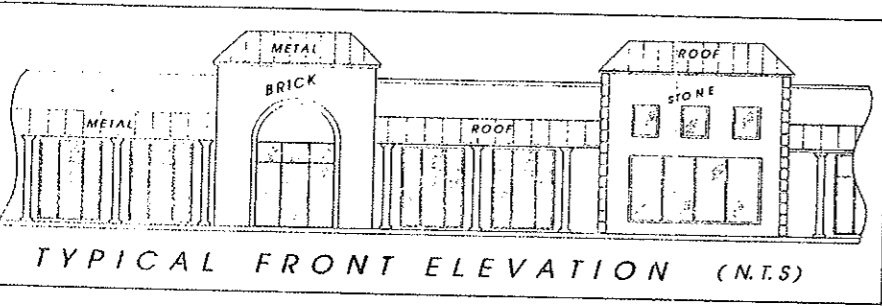


**TOTAL AREA  
 7.240 ACRES**

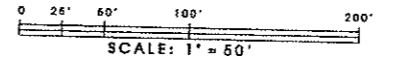
**PHASE TWO  
 2 UNITS 17,320 SQ. FT. TOTAL**

**PHASE ONE  
 4 UNITS - 22,748 SQ. FT. TOTAL**

**TOTAL PROJECT  
 6 UNITS - 40,068 SQ. FT. TOTAL**



- Conditions: F-1350
- PRIOR TO ISSUANCE OF GRADING PERMITS**
- Developer shall provide all areas shown on the site plan as buffer areas or undisturbed areas including (area labeled natural buffer area). These areas shall be retained and not disturbed. Trees in all these areas shall be protected from grading encroachment in accordance with UDO Section 3.4.2(H)(3).
  - Developer shall have a storm water management study submitted for review by the Public Works Department of the City of Winston-Salem. If required, an engineered storm water management plan shall be submitted and approved by the Public Works Department of the City of Winston-Salem.
  - Developer shall obtain erosion control, and grading permits from the Inspections Division of the City of Winston-Salem.
  - Developer shall submit a sealed engineer's detail of any retaining walls over 5 feet high.
- PRIOR TO THE ISSUANCE OF BUILDING PERMITS**
- On site fire hydrant locations shall be approved by the County Fire Department in writing to the Inspections Division.
  - All fire sprinkler system fire department connections must be located within 100 feet of a public fire hydrant and approved in writing by the County Fire Department to the Inspections Division.
- PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS**
- Where ground storm water management devices are installed on this property, a ten (10) foot street yard landscaping area shall be installed around the entire perimeter of each facility.
  - All required storm water management devices, either on-site or off-site, shall be installed per approved plans by the Public Works Department of the City of Winston-Salem.
  - Stub street shall be constructed to the east property line with a temporary turnaround to the specifications of the North Carolina Department of Transportation and the Public Works Department of the City of Winston-Salem.
  - All required fire hydrants shall be installed in accordance with the Forsyth County Fire Department.
  - Developer shall install required storm water management devices per approved plan.
- OTHER REQUIREMENTS**
- Two (2) freestanding ground signs shall be permitted for the shopping center. One sign shall be limited to a maximum height of fifteen (15) feet. The second sign shall be limited to maximum height of five (5) feet.
  - No more than one drive-through business be allowed on the site.
  - All buildings architecture shall conform to the elements of building design and materials as volunteered by the developer and shown on the attached site plan.
  - As volunteered by the petitioner, developer shall install a second row of evergreen shrubs, minimum 24"-30" high at installation, in addition to standard street yard shrub plantings as required under Section 3-4.3(B) of the Unified Development Ordinance.



**LEGEND**

Existing 2 Ft. Contours	_____
Finish 2 Ft. Contours	_____ [796]
Min. Building Line	_____ [40' MBL]
80' Buffer Yard	_____ [B Y]
10' Street Yard	_____ [S Y]
Right-of-Way Line	_____ [R/W]
Dumpster Pad	_____ [D]
Cono Curb & Gutter	_____ [C-A]
Tax Lot	_____ [2-A]
Tax Block	_____ [3870]

**CITY-COUNTY PLANNING BOARD  
 SITE PLAN LEGEND**

<b>ZONING</b> Existing Zoning: RS-9 Proposed Zoning: NSB-3 Type of Review Requested: Rezoning	<b>OFF-STREET PARKING</b> Proposed Use: Shopping Center Parking Calculation: One Space Per 180.49 SF. Required Parking: 178 Spaces Parking Provided: 222 Spaces
<b>SITE SIZE &amp; COVERAGES</b> Total Acreage: 7.240 Acre (A) Building to Land: 9.58 % Pavement to Land: 36.42 % Open Space: 54.00 % TOTAL: 7.240 AC. 100%	<b>OFF-STREET LOADING</b> Req. Loading/Unloading Spaces: 3 Loading/Unloading Spaces Provided: 3 Size: 12 Ft. x 25 Ft.
<b>INFRASTRUCTURE</b> Water: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private Sewer: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private Street: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	<b>BUFFERYARDS</b> Adjoining Zoning: RS-9 Type Required: Type 3 Width Provided: 15'-40' Fence Option: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

**PRELIMINARY SITE PLAN  
 VILLAGE CROSSING**

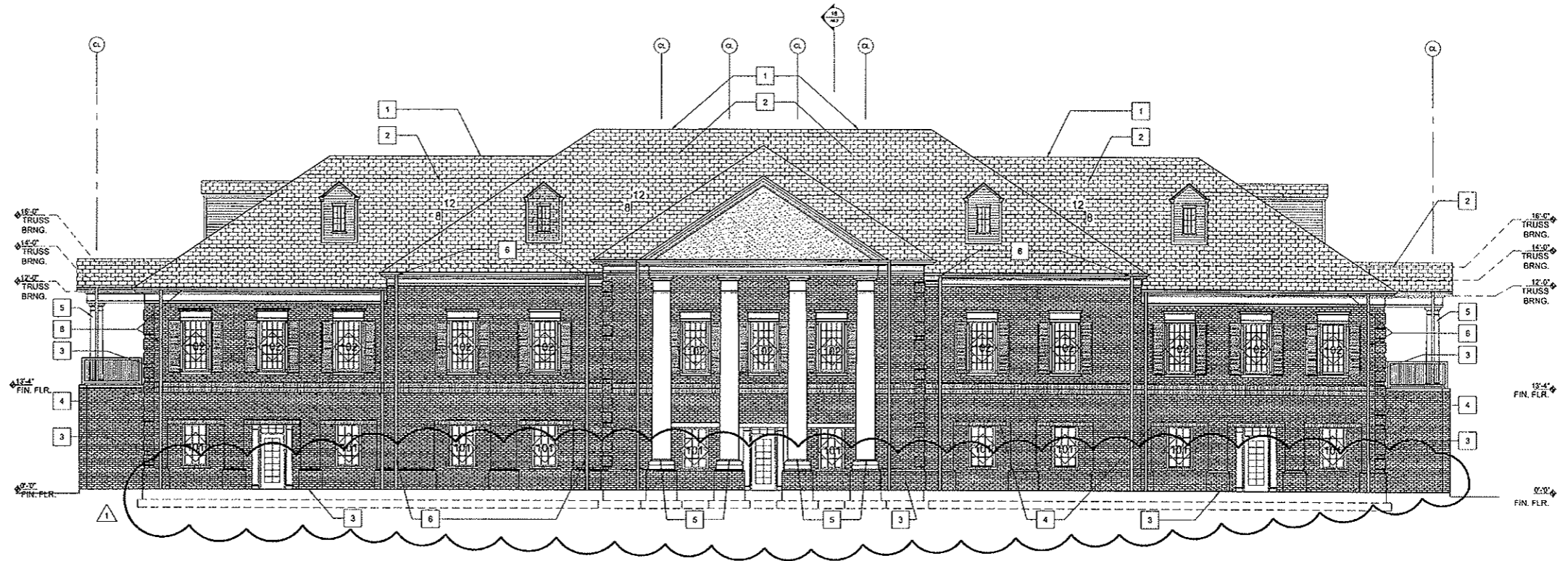
OWNER: BUEL B. & VICKIE B. BARKER  
 3632 FRIEDBURGH ROAD  
 WINSTON-SALEM, NC. 27127

SCALE: 1" = 50'  
 DATE: 06/06/01  
 DRAWN BY: K.W.H.

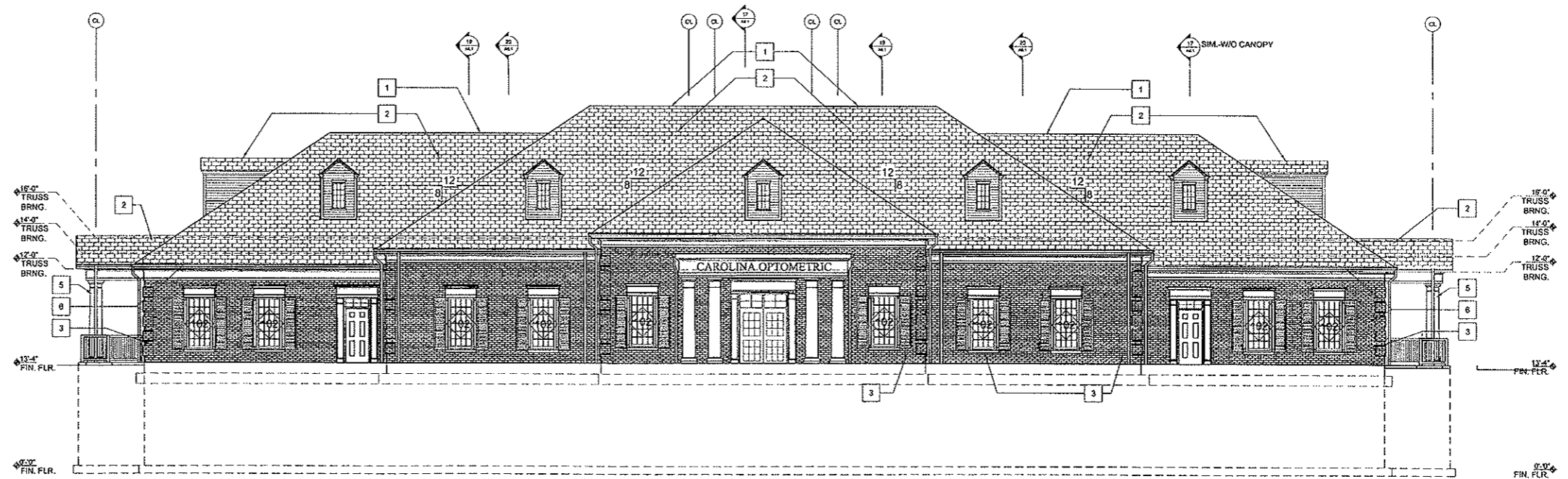
WAYNE HORTON  
 Professional Land Surveyor  
 3450 York Road  
 Winston-Salem, NC, 27104  
 336-766-7872

F-1350  
 SOUTH FORK  
 TOWNSHIP  
 FORSYTH COUNTY  
 NORTH CAROLINA  
 MAP 060601

- 1 CONTINUOUS RIDGE VENT
  - 2 ARCHITECTURAL SHINGLE ROOFING
  - 3 4" FACE BRICK BY PINE HALL BRICK- RUNNING BOND PATTERN
  - 4 4" FACE BRICK SOLDIER COURSE
  - 5 COMPOSITE TUSCAN COLUMN - HB&G OR OWNER/ARCHITECT APPROVED EQUAL
  - 6 PREFIN. METAL GUTTER AND DOWNSPOUTS
  - 7 CLAD DOUBLE HUNG WINDOWS
  - 8 COMPOSITE TRIM AT ENTRY DOORS & WINDOWS
  - 9 COMPOSITE 6 PANEL EXTERIOR DOOR
  - 10 CONTROL JOINT W/INTEGRAL WATER STOP, BACKER ROD AND SEALANT
  - 11 STOREFRONT FRAME & DOOR
- ELEVATION LEGEND**
- 1 NTS



7 PROPOSED EAST ELEVATION  
1/8" = 1'-0" 07-22 BP02



17 PROPOSED WEST ELEVATION  
1/8" = 1'-0" 07-22 BP02



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7.29.08

CONSTRUCTION  
DOCUMENTS

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Project:  
**PROPOSED NEW  
OFFICE BUILDING**  
**EXISTING VILLAGE  
CROSSING  
DEVELOPMENT**  
**WINSTON-SALEM, NC**

Project Number:  
08-09

Issue Date:  
7/29/08

Revisions:  
△ 8/8/08

Sheet Title:  
**BUILDING  
ELEVATIONS**

Sheet Number:

**A5.1**



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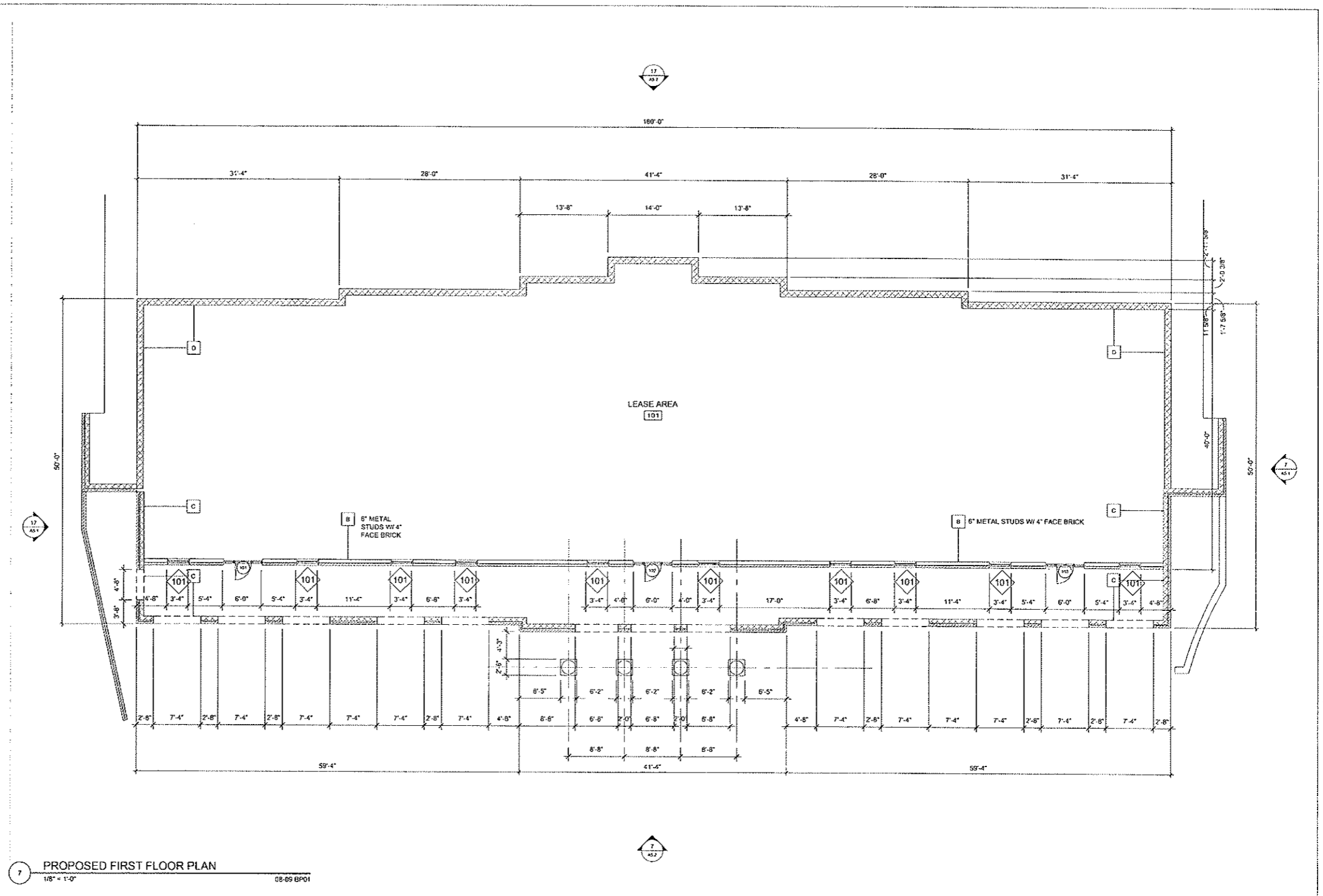
Issue Date:  
7/29/08

Revisions:  
△ -1-1

Sheet Title:  
FIRST FLOOR PLAN

Sheet Number:

A2.1

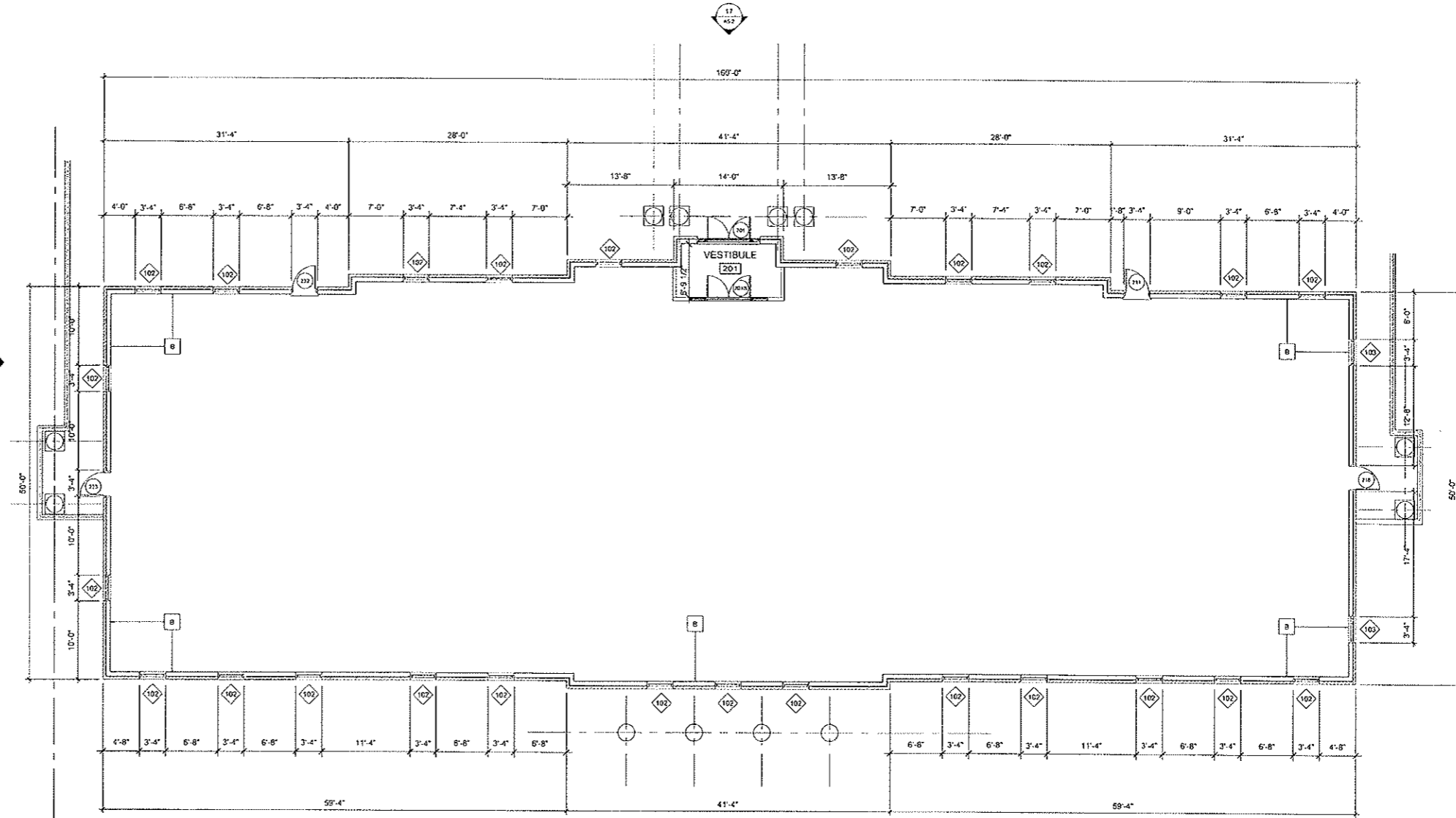


7 PROPOSED FIRST FLOOR PLAN  
1/8" = 1'-0" 08-09 BP01

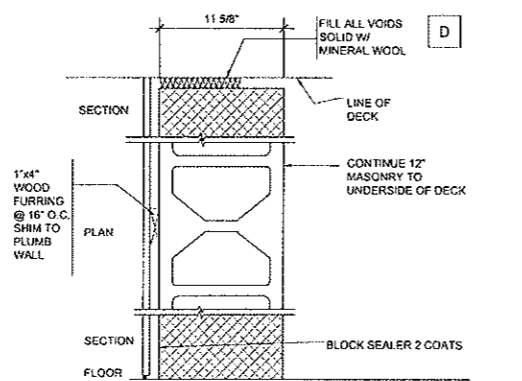
- 1 - DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION.
- 2 - DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- 3 - ALL WORK IS TO BE ACCOMPLISHED TO MEET ALL LOCAL, STATE AND FEDERAL CODES AND ALL LOCAL AUTHORITIES HAVING JURISDICTION.
- 4 - THE CONTRACTOR WILL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, REFLECTORS, LIGHTS, ETC. DURING THE CONSTRUCTION PROPERLY IDENTIFYING AREAS CLOSED TO THE PUBLIC.
- 5 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND COORDINATION OF ALL CONDUIT, PIPING AND DUCTWORK WITH THE VARIOUS TRADES.
- 6 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS UNLESS HE RECEIVES A WRITTEN NOTIFICATION FROM THE ARCHITECT.
- 7 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
- 8 - LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY, SPECIAL DEVICE OR SPECIAL KNOWLEDGE TO OPEN IN THE DIRECTION OF EGRESS.
- 9 - PENETRATIONS THRU RATED WALLS AND FLOOR SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE STOPS ASTM-E-814.
- 10 - THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL HAND-OPERATED FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10.
- 11 - ALL FIRE RATED WALLS SHALL BE PROPERLY IDENTIFIED AND MARKED INDICATING THE 1 OR 2 HR. ASSEMBLY BY STENCIL ABOVE CEILING LINE.
- 12 - ALL HVAC WORK INCLUDING LOCATION OF RETURN AIR GRILLES, DIFFUSERS, DUCTWORK, THERMOSTAT RELOCATION, BALANCING, ETC. SHALL BE COMPLETED AND INCLUDED IN THE PROPOSAL SUBMITTED BY THE GENERAL CONTRACTOR.
- 13 - NO CLAIMS ON ACCOUNT OF MISTAKES OR OMISSIONS IN THE BIDS WILL BE CONSIDERED AFTER AWARD OF CONTRACT.
- 14 - THRESHOLDS SHALL BE NOT MORE THAN 1/2" HT. AND BEVELED IF OVER 1/4" HT.
- 15 - DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- 16 - EMERGENCY WARNING SYSTEMS SHALL BE FULLY ACCESSIBLE AND INCLUDE BOTH AUDIBLE ALARMS AND VISUAL ALARMS.
- 17 - HANDRAILS SHALL EXTEND AT LEAST 12" BEYOND THE TOP RISER AND AT LEAST 12" PLUS THE WIDTH OF ONE TREAD BEYOND THE BOTTOM RISER PARALLEL TO THE LANDING.
- 18 - GENERAL CONTRACTOR SHALL PROVIDE DETAILED INSTRUCTIVE CUT SHEETS OF THE FIRE PENETRATION SEALING SYSTEM USED TO THE INSPECTOR AT THE TIME OF INSPECTION.
- 19 - INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE, 2002 EDITION.
- 20 - THE FLOOR SHALL BE LEVEL ON BOTH SIDES OF A DOOR.
- 21 - CONTRACTOR'S PARKING OF CARS, TRUCK AND EQUIPMENT AND MATERIALS WILL BE ALLOWED WITHIN THE CONTRACT LIMITS ONLY. ADDITIONAL PARKING REQUIREMENTS ARE TO BE COORDINATED WITH THE OWNER.
- 22 - ALL ELECTRICAL SERVICE, CONDUIT, TROUGHS AND WEATHER HEADS SHALL BE PAINTED.
- 23 - ALL FIRE DOORS SHALL BE SELF CLOSING.
- 24 - NOT USED.

- 25 - PROVIDE AND INSTALL ALL SUPPORTS AND BLOCKING IN WALLS TO SUPPORT WORK INCLUDING SHELVING, DOOR FRAMES, DOOR STOPS, MILLWORK, ETC.
- 26 - NOT USED.
- 27 - ALL SPACES SHALL PROVIDE HANDICAPPED ACCESSIBILITY IN ACCORDANCE WITH ADA-AG ACCESSIBILITY GUIDELINES.
- 28 - REQUIRED SIGNAGE SHALL BE IN ACCORDANCE WITH ADA-AG ACCESSIBILITY GUIDELINES.
- 29 - UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TAKEN FROM FINISH FACE OF STUD WALL TO FINISH FACE OF STUD WALL.
- 30 - VERIFY ALL EASEMENTS AND SETBACKS WITH SUBDIVISION RESTRICTIONS PRIOR TO LOCATING FOUNDATION.
- 31 - ALL ROOF PENETRATIONS INCLUDING JACKS, VENTS, ETC. SHALL BE OBSCURE FROM FRONT ELEVATION VIEW.
- 32 - THE CONTRACTOR SHALL VERIFY LOCATION OF ALL TRENCHING & EXCAVATION WITH ARCHITECT AND/OR RESPECTIVE ENGINEER PRIOR TO WORK.
- 33 - THE CONTRACTOR SHALL VERIFY ALL MILLWORK DESIGN WITH THE ARCHITECT PRIOR TO CONSTRUCTION. G.C. TO SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW FOR CONFORMANCE TO THE INTENT OF THE DESIGN.
- 34 - CONTRACTOR SHALL READ AND UNDERSTAND ALL INFORMATION CONTAINED IN THE DRAWINGS AND THE SPECIFICATIONS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMITTING THE FINAL BID. THE DISCREPANCY THAT IS GREATER IN QUANTITY AND OR QUALITY SHALL BE THE ENFORCED SELECTION.
- 35 - PRIOR TO COMPLETION OF THE PROJECT, ALL HVAC SUPPLY GRILLES, RETURN AIR GRILLES, DOORS, FRAMES, WINDOWS (INCLUDING SILLS), ETC. SHALL BE CLEARED OF ALL DUST, FINGERPRINTS. ALL FLOORS SHALL BE SWEEP & MOPPED IN AFFECTED AREAS OF THE PROJECT.
- 36 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS UNLESS HE RECEIVES A WRITTEN NOTIFICATION FROM THE ARCHITECT.
- 37 - THIS SPECIFICATION AND ACCOMPANYING DRAWINGS MUST NOT BE SEPARATED IN ANY MANNER BY ANYONE. THE OWNER AND THE ARCHITECT/CM/CA DISCLAIM ANY RESPONSIBILITY FOR ASSUMPTIONS MADE BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR WHO DOES NOT RECEIVE A COMPLETE SET OF BOTH SPECIFICATIONS AND DRAWINGS.

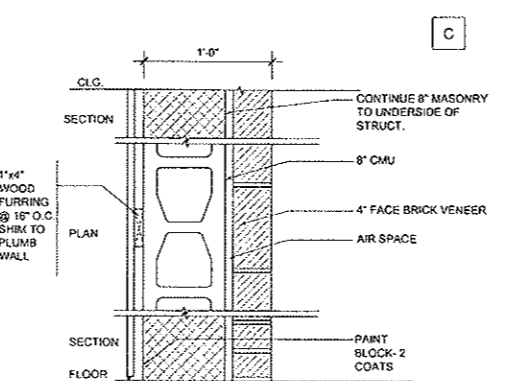
16 GENERAL NOTES  
NOT TO SCALE GENERAL NOTES



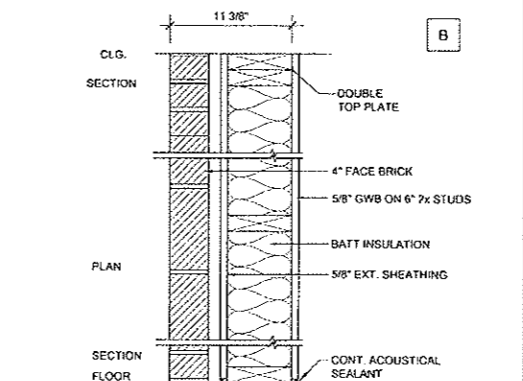
7 PROPOSED SECOND FLOOR PLAN  
1/8" = 1'-0" 08-09 BP02



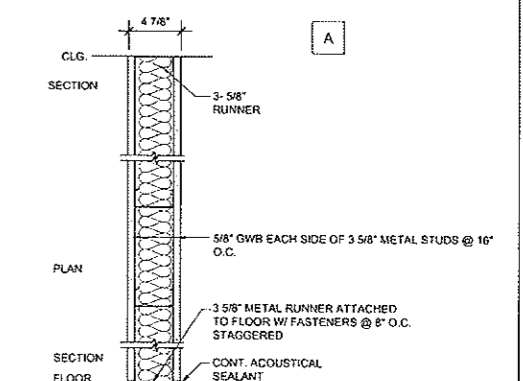
17 PARTITION TYPE D  
1 1/2" = 1'-0" 08-09 PARTITIONS



18 PARTITION TYPE C  
1 1/2" = 1'-0" 08-09 PARTITIONS



19 PARTITION TYPE B  
1 1/2" = 1'-0" 08-09 PARTITIONS



20 PARTITION TYPE A  
1 1/2" = 1'-0" 08-09 PARTITIONS



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CROSSING  
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WINSTON-SALEM, NC

Project Number:  
08-09

Issue Date:  
7/29/08

Revisions:  
-1-1

Sheet Title:  
SECOND FLOOR PLAN  
PARTITION TYPES  
GENERAL NOTES

Sheet Number:

A2.2