



SEALS:

PROJECT:

LOT 9 - LITTLE CREEK
HANES MALL BOULEVARD
WINSTON-SALEM, NC

CLIENT:

Little Creek, LLC
175 Kimel Park Drive,
Suite 200
Winston-Salem, NC 27103

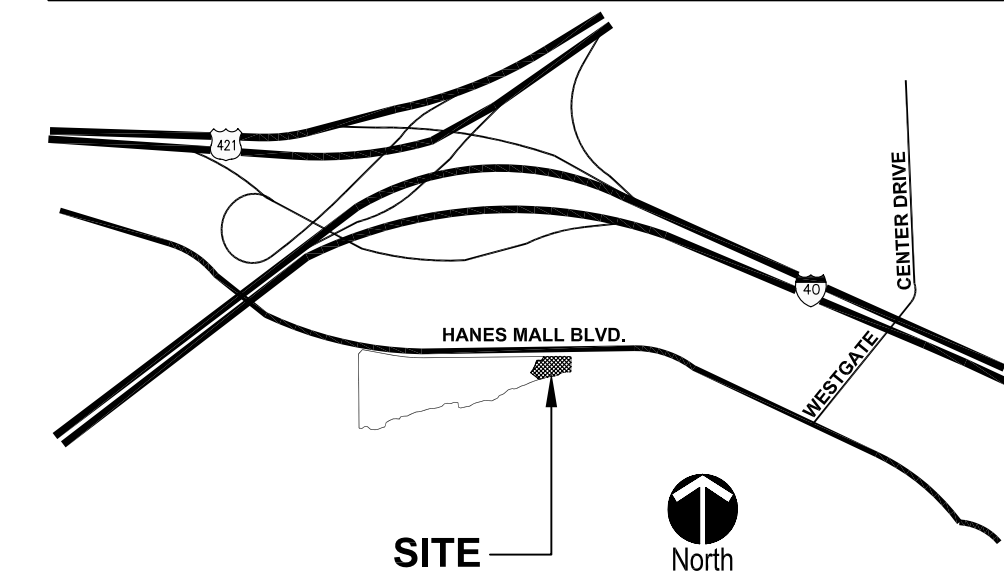
DRAWN: SAS, CEC
DATE: 07-20-07
REVISIONS: 08-02-07
STAFF CHANGE COMMENTS
8-29-07

JOB. NO: 06-083
SHEET TITLE:

STAFF CHANGE PLAN

SCALE: 1" = 20'
SHEET NO.:
SC-1.0
© STIMMEL ASSOCIATES, P.A.

LOCATION MAP: NOT TO SCALE



GENERAL NOTES:

NOTE: ALL DIMENSIONS AND RADII ARE TO FACE OF CURB, OR TO THE CENTER OF STRUCTURES SUCH AS SIGN POSTS, ETC. UNLESS OTHERWISE NOTED.

- GENERAL CONTRACTOR TO:
- VISIT SITE AND BRING TO THE OWNER'S REPRESENTATIVE ATTENTION IN WRITING ANY PROBLEMS OR DISCREPANCIES WITH SITE OR PROJECT PRIOR TO BIDDING AND CONSTRUCTION.
 - COORDINATE WITH THE OWNER FOR PHASING OF CONSTRUCTION. INSURE HIGH LEVEL OF SAFETY DURING ALL PHASES OF CONSTRUCTION. CHECK ALL "VERIFY" DIMENSIONS NOTED ON PLANS. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO ANY FURTHER CONSTRUCTION.
 - OBTAIN ALL NECESSARY PERMITS INCLUDING BUT NOT LIMITED TO: BUILDING, GRADING, UTILITY, EROSION CONTROL, LAND DISTURBANCE AND OCCUPANCY.
 - HAVE LICENSED SURVEYOR STAKE OUT PARKING LOT FOR THE OWNERS REPRESENTATIVE APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - KEEP ALL PLANTING AND GRASS AREAS FREE OF DEBRIS, STONES, CONSTRUCTION MATERIALS, ETC.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND UTILITIES. THOSE SHOWN ON SITE PLAN ARE BASED ON BEST AVAILABLE RECORDS AT THE TIME OF DESIGN AND MAY NOT BE ALL INCLUSIVE. CONTACT ULOCO OR OTHER APPROPRIATE UTILITY LOCATION SERVICE FOR UTILITY IDENTIFICATION PRIOR TO ANY WORK.
 - PATCH/REPAIR STREETS, STRUCTURES, ETC. AS NECESSARY AFTER CONNECTION OF PROPOSED UTILITIES.
 - KEEP ALL PLANTING AND GRASS AREAS FREE OF DEBRIS, STONES, CONSTRUCTION MATERIALS, ETC.
 - COORDINATE ANY CONDUIT PRIOR TO INSTALLATION OF PAVEMENT. COORDINATE SITE LIGHTING WITH SITE LAYOUT (IF APPLICABLE).
 - PRIOR TO CONSTRUCTION, G.C. TO VERIFY ALL SIGNAGE LOCATION, NUMBER, AND TYPE WITH OWNER. G.C. RESPONSIBLE FOR PERMITTING.
 - SEE GRADING PLAN FOR PROPOSED GRADES AND EROSION CONTROL.
 - SEE EROSION CONTROL PLAN FOR EROSION CONTROL SEQUENCE.
 - PRIOR TO POURING CONCRETE FOR SIDEWALKS, INSTALL EXPANSION MATERIAL AROUND BUILDING WHERE APPLICABLE-TYPICAL.
 - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 1.0% SLOPE ON THE CURB.
 - USE THE ARCHITECTS DRAWINGS FOR ALL BUILDING DIMENSIONS.

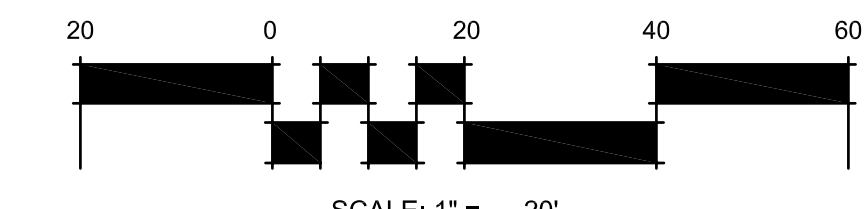
NOTE: OWNER AGREES THAT NO DELIVERY TRUCKS GREATER THAN 30' WILL SERVICE THIS SITE.

MODULAR RETAINING WALL NOTES:

- THE MODULAR RETAINING WALL SYSTEM SHALL BE DESIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN NORTH CAROLINA, AND EXPERIENCED IN THE DESIGN OF THIS TYPE OF RETAINING WALL SYSTEM.
- THE WALL SYSTEM SHALL BE INSTALLED BY A CONTRACTOR WHOSE REGULAR BUSINESS INCLUDES THE INSTALLATION OF THIS TYPE OF RETAINING WALL SYSTEM. THE CONTRACTOR SHALL SUBMIT EVIDENCE THAT HE HAS SUCCESSFULLY COMPLETED AT LEAST FIVE (5) SIMILAR PROJECTS, I.E. WALL SQUARE FOOTAGE, HEIGHT, AND SOIL FILL TYPES. THE CONTRACTOR SHALL ALSO BE APPROVED BY THE WALL MANUFACTURER TO INSTALL THEIR PRODUCT.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR THE WALL FOR APPROVAL PRIOR TO CONSTRUCTING THE WALL. THE DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY THE WALL DESIGN ENGINEER. THE DESIGN OF THE WALL SHALL INCORPORATE TRAFFIC LOADS.
- A SUBSURFACE EXPLORATION REPORT MAY HAVE BEEN DONE FOR THE SITE. SUCH A REPORT MAY BE MADE AVAILABLE TO THE CONTRACTOR FOR INFORMATIONAL PURPOSES ONLY, AND IS NOT A GUARANTEE OF THE SOILS CONDITIONS WHICH WILL BE ENCOUNTERED ON SITE. THIS INFORMATION MAY BE USED AT THE DISCRETION OF THE WALL DESIGN ENGINEER. ANY ADDITIONAL SOILS INFORMATION REQUIRED BY THE WALL DESIGN ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN.
- THE WALL HEIGHT INDICATED BY THE ELEVATIONS SHOWN ON THE GRADING PLAN (SHEET C2.0) REPRESENTS HEIGHT ABOVE FINISHED GRADE ON LOW SIDE ONLY, AND DOES NOT ACCOUNT FOR EMBEDMENT AT THE TOE OF THE WALL.

COMMON ELEMENTS STATEMENT

PRIVATE VEHICULAR AND PEDESTRIAN ACCESS, PRIVATE LANDSCAPE EASEMENT, LIGHTING, SIGNAGE, SIGHT EASEMENT, NON-EXCLUSIVE CROSS PARKING, PUBLIC AND PRIVATE UTILITY EASEMENT, AND SUCH OTHER AMENITIES AS MAY ENHANCE THE PROPERTY, DESCRIBED IN THESE PLATS AS AMENDED FROM TIME TO TIME.



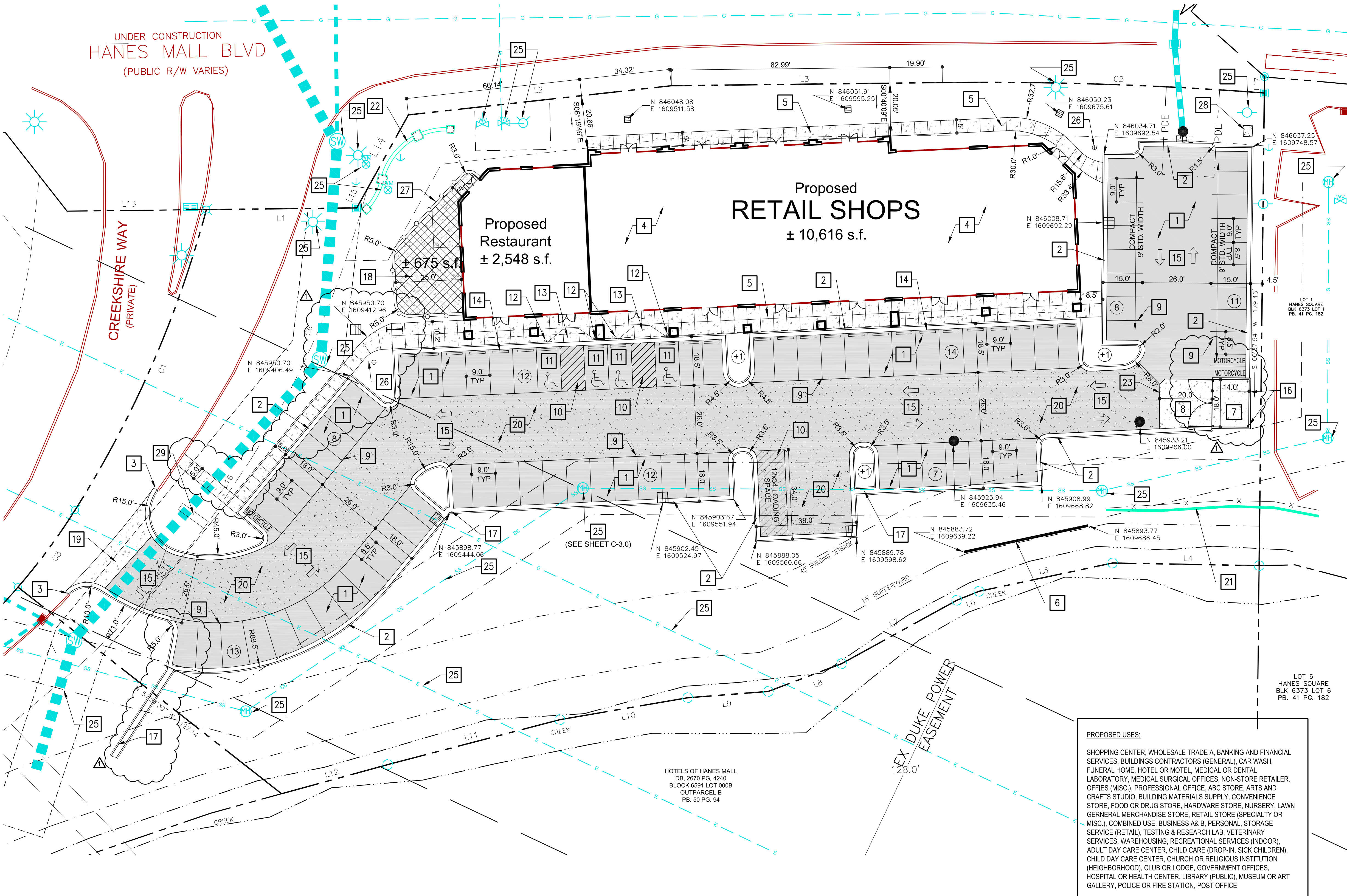
North (FROM SURVEY)

UNDER CONSTRUCTION
HANES MALL BLVD
(PUBLIC R/W VARIES)

CREEKSHIRE WAY
(PRIVATE)

Proposed
Restaurant
± 2,548 s.f.

Proposed
RETAIL SHOPS
± 10,616 s.f.



PROPOSED USES:
SHOPPING CENTER, WHOLESALE TRADE, A BANKING AND FINANCIAL SERVICES, BUILDINGS CONTRACTORS (GENERAL), CAR WASH, FUNERAL HOME, HOTEL OR MOTEL, MEDICAL OR DENTAL LABORATORY, MEDICAL SURGICAL OFFICES, NON-STORE RETAILER, OFFICES (MISC.), PROFESSIONAL OFFICE, ABC STORE, ARTS AND CRAFTS STUDIO, BUILDING MATERIALS SUPPLY, CONVENIENCE STORE, FOOD OR DRUG STORE, HARDWARE STORE, NURSERY, LAWN GENERAL, MERCHANDISE STORE, RETAIL STORE (SPECIALTY OR MISC.), COMBINED USE, BUSINESS AS B, PERSONAL, STORAGE SERVICE (RETAIL), TESTING & RESEARCH LAB, VETERINARY SERVICES, WAREHOUSING, RECREATIONAL SERVICES (INDOOR), ADULT DAY CARE CENTER, CHILD CARE (DROP-IN, SICK CHILDREN), CHILD DAY CARE CENTER, CHURCH OR RELIGIOUS INSTITUTION (NEIGHBORHOOD), CLUB OR LODGE, GOVERNMENT OFFICES, HOSPITAL OR HEALTH CENTER, LIBRARY (PUBLIC), MUSEUM OR ART GALLERY, POLICE OR FIRE STATION, POST OFFICE

SITE REFERENCE NOTES:

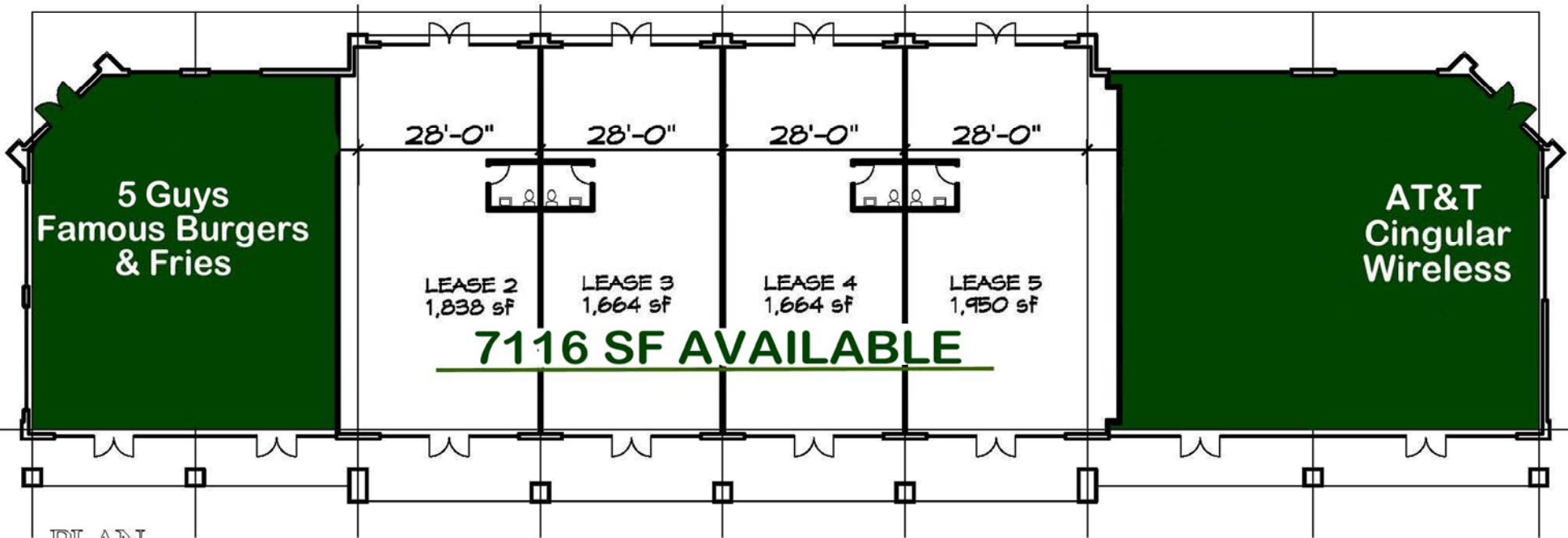
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| 1 STANDARD DUTY ASPHALT PAVING SEE DETAIL 3, SHEET C-5.0 | 13 WASH DOWN HC RAMP - SEE DETAIL 10 SHEET C-5.0 | 25 EXISTING UTILITIES TO REMAIN. |
| 2 NEW 24" CONCRETE CURB & GUTTER SEE DETAIL 1, SHEET C-5.0 | 14 CONCRETE WHEELSTOP. SEE DETAIL 8 SHEET C-5.0 | 26 ORNAMENTAL SITE LIGHTING. SEE SHEET C-2.0 |
| 3 TIE NEW CURB AND GUTTER INTO EXISTING CURB AND GUTTER. | 15 PAINTED TRAFFIC ARROW (TYPICAL) SEE DETAIL 4, SHEET C-5.0 | 27 PROPOSED FENCING FOR OUTDOOR EATING AREA. COORDINATE WITH OWNER AND/OR ARCHITECT FOR FENCE SPECIFICATIONS. |
| 4 PROPOSED BUILDING - SEE ARCHITECTURAL PLANS | 16 BOLLARD - SEE DETAIL 15 SHEET C-5.0 | 28 TRANSFORMER PAD. COORDINATE WITH DUKE ENERGY FOR PAD SIZE AND SPECIFICATIONS. |
| 5 CONCRETE WALK SEE DETAIL 5, SHEET C-5.0 | 17 CONCRETE DRAINAGE FLUME SEE DETAIL 14, SHEET C-5.0 | 29 SITE SIGNAGE. SEE ARCHITECTURAL PLANS. |
| 6 MODULAR WALL (DESIGN BY OTHERS) | 18 BROMANITE PAVING FOR OUTDOOR RESTAURANT | |
| 7 DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS. | 19 10' CONCRETE APRON TO CITY OF WINSTON-SALEM STANDARDS. | |
| 8 CONCRETE PAD. SEE DETAIL 12, SHEET C-5.0 | 20 HEAVY DUTY ASPHALT PAVING. SEE DETAIL 9 SHEET C-5.0 | |
| 9 4" WIDE PAINTED STRIPES (TYPICAL) | 21 EXISTING RETAINING WALL TO REMAIN. | |
| 10 4" WIDE PAINTED STRIPES 1.5"o.c.@45° | 22 EXISTING SIGNAGE TO REMAIN. | |
| 11 HC PARKING SPACE (TYPICAL). SEE DETAIL 6, SHEET C-5.0 | 23 2' CHAMFER | |
| 12 HC PARKING SIGN - SEE DETAIL 7, SHEET C-5.0 | | |

BOMANITE PAVING - 2'x2' GRID
APPROX. SQ. = 924 s.f.
PATTERN: ASHLAR SLATE COLOR: ?

CONCRETE WALK - 5'x5' TYP.
APPROX. SQ. = 7300 s.f.
SEE DETAIL #6 SHEET C-5.0

SITE DATA:

Zoning GB-S (GENERAL BUSINESS) W-2670	Existing Impervious Calculations: Building: 0.00 AC +/- = 0.00% Pavement: 0.10 AC +/- = 4.73% Open Space: 2.01 AC +/- = 95.27% Total: 2.11 AC +/- = 100.00% Total Impervious: 0.10 AC +/- = 4.73%	Developer: Little Creek, LLC 175 Kimel Park Drive Winston-Salem, NC 27103
Site Address 1075 Creekside Way Winston-Salem, NC	Proposed Impervious Calculations: Building: 0.36 AC +/- = 17.24% Pavement: 0.73 AC +/- = 34.77% Open Space: 1.01 AC +/- = 47.99% Total: 2.11 AC +/- = 100.00% Total Impervious: 1.10 AC +/- = 52.01%	Property Owner: Little Creek, LLC 175 Kimel Park Drive Winston-Salem, NC 27103
Proposed Land-Use Retail Store / Restaurant	Off Street Parking Calculations: Retail: 1 space per 200 sf 10,616 +/- SF = 53 spaces	Plans Prepared By: Stimmel Associates, P.A. 601 N. Trade Street Winston-Salem, NC 27101 Tel.#: 336-723-1067
Number of Lots: 1	Map Reference: D.B. 2465 PG. 3155 Tax Map# 606842 Block: 6549 Lot: 9	Survey By: Sgri Land Surveying P.O. Box 576 High Point, NC 27261 Tel.#: 336-885-1366 Dated: 1-30-07
Landscape Setbacks: Front: 20' Street: 20' Streetyard Side: 0 Rear: 0	Restaurant: 1 space per 75 sf 2,548 +/- SF = 34 spaces Outdoor Eating Area: 675 +/- SF = 9 spaces Total Spaces Required = 96 spaces 2% of required spaces will be bicycle parking (2 spaces) Motor Vehicle Parking Req. = 94 spaces -3% for Transit Route = 3 spaces -3% for Sidewalk = 3 spaces Req. Landscape = 3 spaces (Per Fred Holbrook 8-2-07)	
Infrastructure: Water: Public Sewer: Public	Total Spaces Required = 85 spaces Total Spaces Provided = 85 spaces	



PLAN
13,164 sf lease area